

ORDINANCE NO. 810

“Granite Pointe Waterfront Planned Development Ordinance”

AN ORDINANCE OF THE CITY OF GRANITE SHOALS, TEXAS ESTABLISHING THE GRANITE POINTE WATERFRONT PLANNED DEVELOPMENT DISTRICT; ADOPTING PLANNED DEVELOPMENT REGULATIONS FOR THE PLANNED DEVELOPMENT DISTRICT (PD); ESTABLISHING BOUNDARIES FOR THE PD; AMENDING THE ZONING MAP; ENACTING CERTAIN DEVELOPMENT STANDARDS AND LAND USE REGULATIONS; SETTING OUT ADMINISTRATIVE AND LEGISLATIVE PROCEDURES; IMPOSING CIVIL AND CRIMINAL PENALTIES, INCLUDING FINES NOT TO EXCEED \$2,000 PER OFFENSE; PROVIDING FINDINGS OF FACT AND APPROVAL AUTHORITY FOR THE CITY COUNCIL; PROVIDING FOR ENFORCEMENT AND PENALTIES, AND PROVIDING FOR REPEALER, SEVERABILITY, AN EFFECTIVE DATE, AND PROPER NOTICE AND MEETING.

WHEREAS, the City Council (the “City Council”) of the City of Granite Shoals, Texas (the “City”) seeks to continue to provide for the health, safety, and welfare of those living in, working in, and visiting the City; and

WHEREAS, Chapter 40 (Zoning) of the City’s Code of Ordinances establishes reasonable land use regulations within the City, including the use of Planned Developments (“PDs”), particularly to meet unique development needs of certain projects; and

WHEREAS, Section 40-27, of Chapter 40 of the City’s Code of Ordinances specifies the procedure and requirements for the creation of PDs, and permits development of land as an integral unit for single or mixed use in accordance with a PD Concept Plan and in which the goals and objectives of the Comprehensive Plan are to be implemented; and

WHEREAS, the owner and developer, Sterling Creek Holdings, LLC (the “Developer”), proposes development of property in the City in a manner that includes unique needs and for which a Conceptual Site Plan (the “Concept Plan”), attached hereto as Exhibit “A,” and incorporated herein for all purposes, contains proposed development standards for a PD; and

WHEREAS, Section 40-27 of the City’s Code of Ordinances describes Planned Development Districts which permit a combination of dwelling types and/or a variety of land uses which complement each other; and

WHEREAS, the PD is in compliance with the City’s Comprehensive Plan dated February 2010; and

WHEREAS, the property proposed for inclusion in such PD is approximately 3.478 acres and comprised of Lots 1-13 inclusive, in the City of Granite Shoals, in Burnet County, Texas; and

WHEREAS, the Planning and Zoning Commission and the City Council have examined such Concept Plan and all accompanying documents and is of the opinion that the proposed PD is in compliance with Section 40-27 of the City’s Code of Ordinances and that a PD should be created and be identified hereinafter as The Granite Pointe Waterfront PD as described within this Ordinance; and

WHEREAS, Public notice was provided and the Planning and Zoning Commission and the City Council have conducted public hearings on creation of The Granite Pointe Waterfront PD, as required by the City's Code of Ordinances; and

WHEREAS, the City Council, in the exercise of its legislative discretion, finds that it is in the best interests of the welfare of the citizens of the City, and consistent with the City's Comprehensive Plan, to approve the regulate land use and development throughout the PD.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRANITE SHOALS, TEXAS:

I. FINDINGS OF FACT

All of the above premises are hereby found to be true and correct legislative and factual findings of the City Council and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

II. ZONING CHAPTER AMENDED

Chapter 40 (Zoning) of the City of Granite Shoals, Texas Code of Ordinances as heretofore amended is hereby amended by adding a new Planned Development Zone, "The Granite Pointe Waterfront PD," as more fully set forth herein. This Ordinance amends the City's Zoning Chapter but shall stand alone and shall be complementary to rather than supplanting or replacing portions of such Zoning Chapter.

III. APPLICABLE ZONING AND OTHER REGULATIONS

The Property shall be regulated for purposes of zoning and subdivision by the City Code's Zoning and Subdivision Chapters, and shall be subject to all other City Codes and Ordinances in effect except as herein specifically provided. Particular zoning classifications are set forth in this PD Ordinance. Where a general zoning item is not specifically addressed in this PD Ordinance but is addressed by the City's Zoning Chapter or other Code or Ordinance in effect, the Zoning Chapter or other Code or Ordinance shall control. In the event of any conflict between this PD Ordinance and the City's Zoning Chapter, this PD Ordinance shall control. Where a general subdivision matter is not specifically addressed in this PD Ordinance but is addressed by the City's Subdivision Chapter or other Ordinance in effect, the Subdivision or other Ordinance shall control. In the event of any conflict between this PD Ordinance and the City's Subdivision Ordinance, this PD Ordinance shall control.

IV. DEFINITIONS

Accessory Structure: any structure, the use of which is customarily incidental and subordinate to that of the main building on the same lot, such as a garage, carport, swimming pool, sports court, tennis court, guest house, greenhouse, boat houses and boat docks, woodshed, tool shed and the

like.

Bar: an establishment whose primary purpose is sale of alcohol and must obtain approval of any of the Texas Alcoholic Beverage Commission Permits or Licenses.

City Council: the City Council of the City of Granite Shoals, Burnet County, Texas.

Developer: Sterling Creek Holdings, LLC and shall include any person, partnership, firm, association, corporation (or combination thereof), and/or any officer, agent, employee, contractor, subcontractor, servant and trustee thereof who performs or participates in the performance of any act toward the subdivision and/or development of land within the intent, scope and purview of this PD Ordinance. Developer shall also be defined as the builder and the builder's contractors and subcontractors if it is responsible for the construction of buildings and/or other structures or permanent improvements.

Granite Pointe Waterfront Committee of Architecture (GPWCA): the Committee for architecture for Granite Pointe Waterfront Community. Committee will provide design guidelines for all residential and commercial development construction.

Lakefront Estate Lot: those Lots zoned R-1LE; more specifically, Lots 2-11.

Lot or Lots: Lots 1-13, inclusive, Granite Pointe Waterfront Community in the City of Granite Shoals, Burnet County, Texas.

Mixed Use District (MU): a district allowing both residential and nonresidential uses to be combined. In a single building, typically with public oriented uses such as retail, and restaurant on the ground floor, and office, or residential living on the upper stories.

PD: a Planned Development under the City's Zoning Chapter.

PD Concept Plan: the Concept Plan that establishes the general guidelines for the PD by identifying the proposed land uses and intensities, thoroughfare locations, and open space boundaries and illustrates the integration of these elements into a master plan for the entire PD, a copy of which is attached hereto as "Exhibit A" and incorporated herein for all purposes.

Project: "The Granite Pointe Waterfront" neighborhood mixed use development, discussed more fully in the PD Concept Plan.

Property: the approximately 3.478 acres of land which is owned by Developer and currently located within the corporate boundaries of the City and more fully described as comprised of Lots 1-13 inclusive, Granite Pointe Waterfront Community in the City of Granite Shoals, Burnet County, Texas, and is intended to be developed as the Project.

Restaurant: an establishment at which food is sold exclusively for consumption at the tables on the premises, and where the gross receipts, derived from the sale of alcoholic beverages from on-premises sales shall not exceed seventy-five (75%) percent of the restaurant's gross receipts.

Short Term Rental (STR): a dwelling unit intended for permanent occupancy that is occupied for transient use by any person other than the primary owner for any form of compensation for a period of not less than one day, nor more than 30 consecutive days.

V. THE GRANITE POINTE WATERFRONT PD

I. PD Standards

The Project shall be zoned in two classifications R-1LE Single Family Lakefront Estate and MU Mixed Use (R-2 Residential Multi-family and General Business District One and Two).

A. R-1LE Single Family Lakefront Estates Lots 2-11;

- i. Only one principal single family detached dwelling unit permitted on a Lot.
- ii. Minimum Lot Width
 - i. 30' Minimum chord width length on any Lot along a turnaround portion of cul-de-sac.
 - ii. 45' Minimum Lot width
- iii. Short Term Rentals allowed in accordance with the City's Short Term Rental Ordinance. The property owner shall register the short term rental with the City of Granite Shoals.

B. MU (R-2 Multiple Family Residential and GB-1 & GB-2 General Business District);

- i. Mixed Use Buildings including both residential and nonresidential uses
- ii. Single-use buildings (buildings containing only nonresidential or only multifamily uses) on the same lot within an integrated development.
- iii. Minimum Lot Width
 - i. 45' Minimum Lot width
- iv. Community Center or Clubhouse;
- v. Recreational facilities, which may include, but are not limited to pedestrian paths throughout the property, a swimming pool, a fitness center, community marina, and space for social activities.
- vi. Short Term Rentals allowed in accordance with the City's Short Term Rental Ordinance. The property owner shall register the short term rental with the City of Granite Shoals.
- vii. Permitted Uses:
 - i. Shall comply with Multi-family Residential and General Business District One and Two

II. Site Development Standards

Development of the Property shall comply with the following site development standards:

A. **Integrated Development.** The PD shall be treated as an integrated development for the purpose of requirements relating to drainage, structural and non-structural water quality control, impervious cover, utility service, parking and off-street loading, traffic impact analyses, landscaping, open space, green space, and other requirements which the City may determine should reasonably be treated in a similar fashion.

B. **Impervious Cover.** The overall impervious cover on the Property shall be in accordance to LCRA Highland Lake Watershed Ordinance.

C. **Height Limits.**

- i. R-1LE Residential: forty-eight (48) feet in height measured from the highest terrain elevation on the street side of the building
- ii. MU: forty-eight (48) feet in height, no more than three (3) stories on Lots 1, 12, and 13

D. **Conceptual Site Plan**

- i. A Conceptual Site Plan, attached as Exhibit A, will be submitted, and will contain the elements required by Section 40-27 of the City's Code of Ordinances.

E. **Parking Requirements:**

- i. R-1LE – Require a garage that holds a minimum of two cars
- ii. MU (R-2, GB-1, & GB-2)
 - 1. Condominium Units- Require a minimum of two parking spaces per every 2-3 bedroom unit
 - 2. Personal Service – Require a minimum of one space per 300 square feet
 - 3. Retail Trade - Require a minimum of one space per 300 square feet
 - 4. Restaurants – Require a minimum of one space per four seats or one space per 300 square feet, whichever is greater.

F. **Building Setbacks (Exhibit A):**

a.R1-LE

- i. Front Yard Setback -conform to minimum depth of fifteen (15) feet from the front property line to the nearest structural projections, including porches, but not including eaves, overhangs, planters or fireplaces.
- ii. Side Yard Setback -shall conform to minimum depth of five (5) feet from the side property line to the nearest structural projections, including porches, but not including eaves, overhangs, planters or fireplaces.
- iii. Rear Yard Setback -shall conform to minimum depth of fifteen (15) feet from the property line to the nearest building line, excepting

fences, walls and hedges, and a minimum ten (10) feet from the rear of any structure to the shoreline.

b.MU (R-2,GB-1, and GB-2)

- i. Front Yard Setback -conform to minimum depth of fifteen (15) feet from the front property line to the nearest structural projections, including porches, but not including eaves, overhangs, planters or fireplaces.
- ii. Side Yard Setback -shall conform to minimum depth of five (5) feet from the side property line to the nearest structural projections, including porches, but not including eaves, overhangs, planters or fireplaces.
- iii. Rear Yard Setback -shall conform to minimum depth of fifteen (15) feet from the property line to the nearest building line, excepting fences, walls and hedges, and a minimum of ten (10) feet from the rear of any structure to the shoreline.

G. Street and Access

Primary access to the Property shall via Highcrest Drive as shown on the PD Concept Plan.

- i. Access width of forty (40) feet
- ii. Pavement width minimum of twenty-four (24) feet. Access shall be provided to previously platted lots.

H. Architectural Design Guidelines

- i. All buildings within the PD shall be consistent in character and shall be in accordance with Granite Pointe Waterfront Committee of Architecture (GPWCA).
- ii. Developer shall provide the GPWCA with engineer certified plans for the construction of the any perimeter walls or walls to be constructed on any Lot. All walls constructed on any Lot must be approved by the GPWCA as to height, design, materials, color and type of construction.

I. Accessory Buildings within R-1LE classification:

- i. Accessory buildings to be used for residential purposes shall comply with the provisions set by the Granite Pointe Waterfront Committee of Architecture (GPWCA).
- ii. Accessory buildings are not required to be attached to the principal residence on the Lot.

J. Utilities

- i. Developer agrees to install such water and wastewater lines as required to accommodate the Project, irrigation (with back flow preventer valve), and new fire hydrants, all where applicable. It is Developer's responsibility to provide adequate wastewater service to the Project.

- ii. Developer shall install fire sprinklers pursuant to any applicable fire codes and regulations, or in lieu thereof, Developer shall provide adequate access to the appropriate fire authorities, including the City's Fire Department.

VI. MODIFICATIONS TO THE PD CONCEPT PLAN

Major Modifications to the PD Concept Plan must receive prior approval by the City Council.

VII. ZONING MAP AMENDED

The official Zoning District Map of the City of Granite Shoals hereto adopted is hereby amended to reflect the zoning changes made herein in accordance with the PD Concept Plan.

VIII. SEVERABILITY

If any section, subsection, sentence, clause or phrase of this PD Ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void, invalid, or unenforceable, the validity of the remaining portions of this ordinance or its application to other persons or sets of circumstances, shall not be affected thereby, it being the intent of the City Council of the City of Granite Shoals in adopting, and the Major in approving this ordinance, that no portion thereof or provision or regulation contained herein shall be come inoperative or fail by reason of any unconstitutionality or invalidity of any portion, provision or regulation.

IX. EFFECTIVE DATE


This PD Ordinance shall take in effect immediately from and after its passage and publications as may be required by governing law.

X. NOTICE AND MEETING CLAUSE


It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

This PD Ordinance shall become effective upon passage and adoption in accordance with the State Law.

Passed and approved this 11th day of May, 2021.


Will Skinner, Mayor

ATTEST:



Elaine Simpson, City Secretary

Approved to Form:


Josh Katz, City Attorney

This PD Ordinance shall become effective upon passage and adoption in accordance with the State Law.

Passed and approved this 11th day of May, 2021.


Will Skinner, Mayor

ATTEST:


Elaine Simpson, City Secretary

Approved to Form:

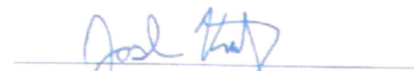

Josh Katz, City Attorney

Exhibit "B"

LEGAL DESCRIPTION: Being 3.478 acres of land being all of Lot 4, Serenity Pointe, a subdivision in Granite Shoals, Burnet County, Texas as shown on the plat recorded in Instrument No. 200714918 of the Official Public Records of Burnet County, Texas; Said 3.478 acre tract being more particularly described as follows and as surveyed under the supervision of Searchers Surveying & Engineering LLC in March 2021:

BEGINNING at a mag nail with a washer marked "Holland Surveying LLC" found in the north line of Lot 2 of the Tropical Hideaway Subdivision as shown on the plat recorded in Volume 744, Page 433 of the Deed Records of Burnet County, Texas, for a corner of Lot 1 of said Tropical Hideaway Subdivision and the southeast corner hereof, and from which a mag nail found bears North 02°07'16" East a distance of 0.51 feet and a 1/2 inch iron rod found for a corner of said Lot 1 and the northeast corner of said Lot 2 bears South 74°50'41" East a distance of 8.71 feet;

THENCE North 74°50'41" West a distance of 106.10 feet along the north line of said Lot 2 to a 1/2 inch iron rod found for the northwest corner of said Lot 2 and a corner of Lakefront Homes Condominium as shown on the plat recorded in Cabinet 1, Page 130D of the Plat Records of Burnet County, Texas;

THENCE along the northwest and north lines of said Lakefront Homes Condominium, the following 6 courses:

1. North 74°52'19" West a distance of 25.69 feet to a 1/2 inch iron rod found;
2. North 45°37'54" West a distance of 74.47 feet to a bent 1/2 inch iron rod found;
3. North 10°25'06" West a distance of 113.58 feet to a mag nail found;
4. North 88°43'48" West a distance of 7.41 feet to a mag nail set;
5. North 88°14'05" West a distance of 13.04 feet to a 1/2 inch iron rod set;
6. North 88°14'05" West a distance of 103.22 feet to a point in the east line of Lake LBJ, for a corner of said Lakefront Homes Condominium and the southwest corner hereof;

THENCE along the east line of said Lake LBJ, the following 3 courses:

1. North 17°26'27" West a distance of 43.55 feet to a point;
2. North 10°26'26" West a distance of 26.30 feet to a point;
3. North 09°01'25" West a distance of 44.27 feet to a point on the face of a concrete wall;

THENCE along the east, south, and west lines of said Lake LBJ along the face of said concrete wall, the following 28 courses:

1. North 01°52'08" East a distance of 7.97 feet to a point;
2. North 29°11'16" East a distance of 49.19 feet to a point;
3. North 30°10'07" East a distance of 33.24 feet to a point;
4. South 60°44'45" East a distance of 4.21 feet to a point;
5. North 32°02'40" East a distance of 32.11 feet to a point;
6. North 24°27'01" East a distance of 3.81 feet to a point;
7. North 01°08'19" West a distance of 8.10 feet to a point;
8. North 10°54'56" West a distance of 7.44 feet to a point;
9. North 20°29'47" West a distance of 47.95 feet to a point;
10. North 12°59'10" West a distance of 7.99 feet to a point;
11. North 02°04'50" West a distance of 51.34 feet to a point;
12. North 02°32'24" West a distance of 36.89 feet to a point, and from which a mag nail set bears South 72°17'04" East a distance of 0.33 feet;
13. North 02°10'28" West a distance of 29.28 feet to a point;
14. North 02°18'13" West a distance of 20.95 feet to a point;
15. North 05°58'36" West a distance of 4.11 feet to a point;
16. North 01°37'29" West a distance of 24.73 feet to a point;
17. North 16°38'05" East a distance of 16.28 feet to a point;
18. North 35°29'11" East a distance of 8.21 feet to a point;
19. North 40°16'25" East a distance of 32.83 feet to a point;
20. South 54°30'43" East a distance of 9.91 feet to a point;
21. North 38°42'12" East a distance of 40.42 feet to a point;
22. North 89°40'44" East a distance of 67.44 feet to a point;
23. South 60°10'59" East a distance of 39.93 feet to a point;
24. South 51°02'34" East a distance of 7.94 feet to a point;
25. South 45°26'30" East a distance of 45.49 feet to a point;
26. South 42°52'32" East a distance of 10.78 feet to a point, and from which a mag nail set bears South 36°53'29" West a distance of 0.12 feet;
27. South 32°51'01" East a distance of 24.92 feet to a point;
28. South 29°40'05" East a distance of 31.78 feet to a point;

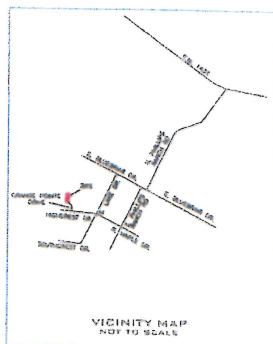
THENCE North 85°48'29" East a distance of 33.20 feet along the south line of said Lake LBJ to a point for a corner of said Lot 1;

THENCE along the west, north, and south lines of said Lot 1, the following 16 courses:

1. South 22°00'53" East, at a distance of 8.96 feet pass a 1/2 inch iron rod set, continuing in all for a total distance of 109.66 feet to a 1/2 inch iron rod found;
2. South 76°32'05" West a distance of 68.75 feet to a 1/2 inch iron rod found;
3. North 15°19'38" West a distance of 16.19 feet to a 1/2 inch iron rod found, and from which a 1/2 inch iron rod found bears North 41°07'43" East a distance of 0.09 feet;
4. South 75°16'27" West a distance of 58.99 feet to a 1/2 inch iron rod with a cap marked "Holland" found;
5. South 75°08'18" West a distance of 30.02 feet to a nail found;
6. South 09°49'13" East a distance of 52.32 feet to a pk nail found;
7. South 19°43'36" West a distance of 57.53 feet to a mag nail found;
8. South 62°07'10" East a distance of 22.85 feet to a pk nail found;
9. South 61°58'09" East a distance of 106.12 feet to a faint "X" mark found in a concrete retainer wall;
10. South 73°35'39" East a distance of 52.31 feet to a drill hole in a faint "X" mark found in a concrete retaining wall;
11. South 55°29'29" East a distance of 8.23 feet to a 1/2 inch iron rod found;
12. South 16°52'49" West a distance of 127.06 feet to a 1/2 inch iron rod found;
13. South 82°31'31" West a distance of 19.25 feet to a mag nail with a washer marked "Holland Surveying LLC" found;
14. South 41°50'10" West a distance of 37.33 feet to an 80d nail found;
15. South 43°32'28" East a distance of 102.05 feet to a pk nail found;
16. South 03°20'17" East, at a distance of 62.10 feet pass a mag nail set, continuing in all for a total distance of 83.19 feet to the POINT OF BEGINNING.

EXHIBIT “C”

Granite Pointe Subdivision Plat



LAKE LBU



LINE TABLE

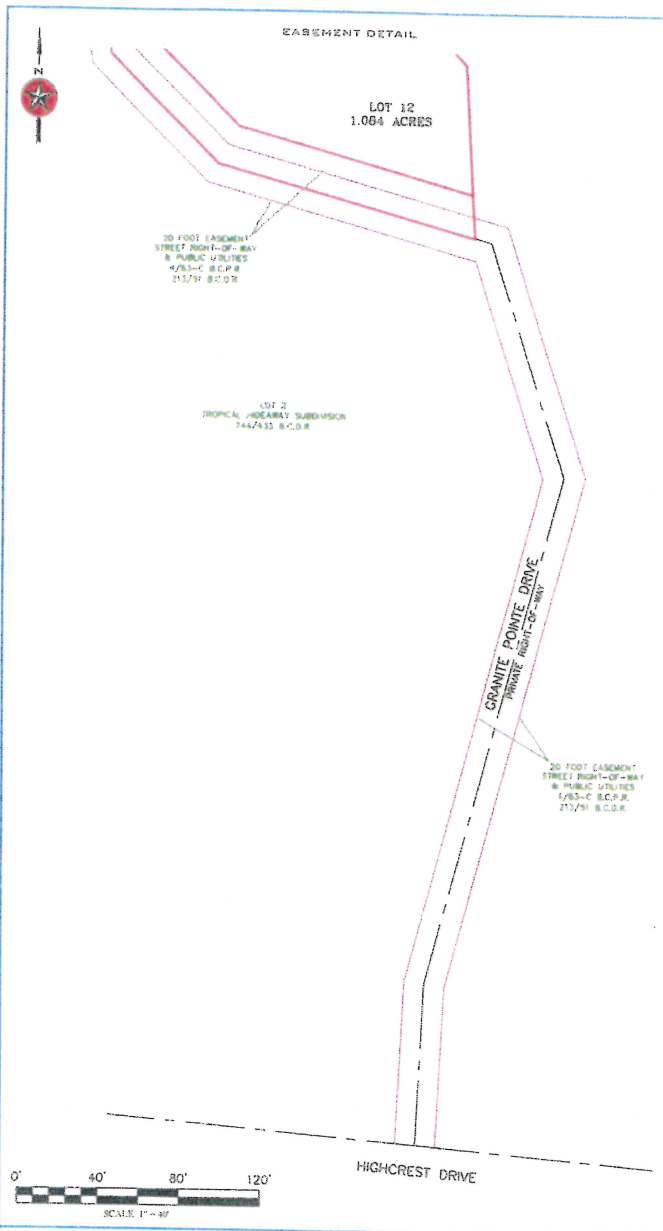
LINE	BEARING	DISTANCE
L1	N 17°25'27" W	43.55
L2	N 10°25'25" W	26.30
L3	N 01°32'08" E	7.87
L4	N 29°11'15" E	12.41
L5	N 30°10'07" E	13.58
L6	N 30°10'07" E	19.89
L7	S 80°44'43" E	4.21
L8	N 32°02'40" E	25.55
L9	N 32°02'40" E	2.77
L10	N 24°27'01" E	3.81
L11	N 01°08'19" W	8.10
L12	N 10°24'55" W	7.44
L13	N 20°29'47" W	30.20
L14	N 20°29'47" W	17.75
L15	N 12°59'10" W	7.99
L16	N 02°04'50" W	30.72
L17	N 02°04'50" W	30.55
L18	N 02°58'38" W	4.11
L19	N 01°37'29" W	5.56
L20	N 01°37'29" W	19.17
L21	N 19°38'05" E	16.28
L22	N 32°28'11" E	8.21
L23	S 4°30'43" E	9.91
L24	N 38°42'12" E	13.99
L25	N 38°42'12" E	26.47
L26	S 60°10'59" E	25.23
L27	S 60°10'59" E	14.70
L28	S 31°02'34" E	7.94
L29	S 42°53'33" E	10.78
L30	S 32°31'01" E	31.92
L31	S 29°40'05" E	31.79
L32	S 25°08'18" W	30.02
L33	S 09°49'13" E	52.35
L34	S 02°07'10" E	22.82
L35	S 52°29'29" E	8.33
L36	S 82°31'51" W	19.23
L37	S 41°50'10" W	37.33
L38	S 03°20'17" E	21.68
L39	N 74°52'19" W	25.99
L40	N 89°43'48" W	7.41
L41	N 01°40'00" E	54.08
L42	N 19°43'38" E	76.58
L43	S 02°29'11" E	19.88
L44	S 09°49'13" E	50.82
L45	S 09°49'13" E	5.77
L46	S 19°43'38" W	45.80
L47	S 19°43'38" W	30.68
L48	S 19°43'38" W	54.08
L49	S 01°40'00" W	16.07
L50	S 01°40'00" W	48.60
L51	S 10°25'08" E	61.93
L52	N 12°19'45" W	16.18
L53	N 09°49'13" W	47.08
L54	N 74°28'01" E	61.57
L55	N 89°14'55" W	13.04

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	15.00	2.93	2.93	N 04°17'56" W	11°12'34"
C2	15.00	8.40	8.28	N 17°25'40" E	32°04'37"
C3	45.00	42.33	40.79	N 06°31'01" E	53°53'44"
C4	45.00	37.62	36.53	N 4°22'58" W	47°54'00"
C5	45.00	30.16	29.58	N 87°31'22" W	38°22'53"
C6	45.00	30.16	29.58	S 4°04'13" W	38°22'56"
C7	45.00	50.84	48.01	S 02°31'08" N	64°10'48"
C8	45.00	34.70	33.85	S 51°24'23" E	64°10'48"
C9	15.00	16.75	15.89	S 41°48'33" E	53°28'27"

LEGEND:

- 1/2" wide road
 12" wide road
 18" wide road
 24" wide road
 36" wide road
 48" wide road
 60" wide road
 72" wide road
 84" wide road
 96" wide road
 108" wide road
 120" wide road
 144" wide road
 168" wide road
 192" wide road
 216" wide road
 240" wide road
 264" wide road
 288" wide road
 312" wide road
 336" wide road
 360" wide road
 384" wide road
 408" wide road
 432" wide road
 456" wide road
 480" wide road
 504" wide road
 528" wide road
 552" wide road
 576" wide road
 600" wide road
 624" wide road
 648" wide road
 672" wide road
 696" wide road
 720" wide road
 744" wide road
 768" wide road
 792" wide road
 816" wide road
 840" wide road
 864" wide road
 888" wide road
 912" wide road
 936" wide road
 960" wide road
 984" wide road
 1008" wide road
 1032" wide road
 1056" wide road
 1080" wide road
 1104" wide road
 1128" wide road
 1152" wide road
 1176" wide road
 1200" wide road
 1224" wide road
 1248" wide road
 1272" wide road
 1296" wide road
 1320" wide road
 1344" wide road
 1368" wide road
 1392" wide road
 1416" wide road
 1440" wide road
 1464" wide road
 1488" wide road
 1512" wide road
 1536" wide road
 1560" wide road
 1584" wide road
 1608" wide road
 1632" wide road
 1656" wide road
 1680" wide road
 1704" wide road
 1728" wide road
 1752" wide road
 1776" wide road
 1800" wide road
 1824" wide road
 1848" wide road
 1872" wide road
 1896" wide road
 1920" wide road
 1944" wide road
 1968" wide road
 1992" wide road
 2016" wide road
 2040" wide road
 2064" wide road
 2088" wide road
 2112" wide road
 2136" wide road
 2160" wide road
 2184" wide road
 2208" wide road
 2232" wide road
 2256" wide road
 2280" wide road
 2304" wide road
 2328" wide road
 2352" wide road
 2376" wide road
 2400" wide road
 2424" wide road
 2448" wide road
 2472" wide road
 2496" wide road
 2520" wide road
 2544" wide road
 2568" wide road
 2592" wide road
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PLAT NOTES:

- Granite Pointe Drive, shown hereon, is and shall remain a private road. The City of Granite Shoals is not responsible for the repair and maintenance of Granite Pointe Drive.
- The property shown hereon is subject to all current land use ordinances and subdivision regulations for the City of Granite Shoals, Texas.
- Wastewater service provider: Aqua Texas Inc.
- Electric service provider: Pedernales Electric Co-op.
- Water service provider: City of Granite Shoals.
- Minimum Finished Floor Elevation for all buildings shall be 342.0' or higher.
- The Lower Colorado River Authority has a perpetual easement below elevation 625 feet and the right to raise or lower water in the reservoir below elevation 840 feet as per mandation easement recorded in Volume 107, Page 41 of the Deed Records of Burnet County, Texas.
- The City of Granite Shoals owns the inundated lands of Lake LBJ below the 825 foot contour line as further defined in Volume 206, Page 434 of the Deed Records of Burnet County, Texas.
- Public utility easements are as shown on this plat.
- This replat releases the variable width utility easement granted by the "UTILITY EASEMENT NOTE" and as graphically depicted as (E) on Page 2 of 2 of the plat of Serenity Pointe Lot 4 recorded in Cabinet 4, Side 63C, 93D, 84A of the Plat Records of Burnet County, Texas and in Instrument No. 200714918 of the Official Public Records of Burnet County, Texas.
- Zoning:
 - Lots 2 - 11: R-1LE - Single Family Lakefront Estates
 - Lots 1, 12 & 13: MU - Mixed Use

SURVEY NOTES:

- This survey was prepared without the benefit of a current title report/commitment. There may be easements, restrictions, and/or covenants affecting this property, not shown hereon.
- Bearings, distances, coordinates, & acreage are GDA, NAD 83 US Texas Central Zone 4203.
- A "1/2 inch iron rod set" is a 1/2 inch rebar with plastic cap marked "SEARCHERS RPLS 0275."
- A portion of the property shown hereon is located in Zone AE as identified by the Federal Insurance Administration Flood Boundary Map, Panel No. 48053C0560 Effective March 15, 2012. Flood lines shown hereon were scaled from the flood map and are approximate only.



OWNER'S ACKNOWLEDGEMENT

STATE OF TEXAS §
COUNTY OF BURNET §

STERLING CREEK PROPERTY SOLUTIONS LLC, a Texas limited liability company, does hereby certify that we are the owner of Lot 4, Serenity Pointe, a subdivision as shown on the plat recorded in Instrument No. 200714918 of the Official Public Records of Burnet County, Texas, that no other person or entity has any interest in the property other by lien, lease, or other equitable interest, unless otherwise noted hereon, and that we with our free consent hereby adopt this Replat of said Lot 4 creating a subdivision to be known as GRANITE POINTE SUBDIVISION as shown hereon, dedicating to the public forever all utility easements shown hereon. Granite Pointe Drive shall remain a private road.

JOHN CONCORRAN, Managing Member
STERLING CREEK PROPERTY SOLUTIONS LLC
409 E. Main Street, Udon, Texas 78642

STATE OF TEXAS §
COUNTY OF LLANO §

BEFORE ME, the undersigned authority, on this day personally appeared JOHN CONCORRAN, known to me to be the person whose name is subscribed to the foregoing instrument as Managing Member of STERLING CREEK PROPERTY SOLUTIONS LLC and acknowledged to me that he executed the same in such capacity as the act and deed of said company for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of April, 2021.

Notary Public, State of Texas

LIENHOLDER'S RATIFICATION OF PLAT

STATE OF TEXAS §
COUNTY OF BURNET §

Whereas, Arrowshead Bank, acting by and through the undersigned, its duly authorized agent, holds a lien on the property shown hereon as secured by a Deed of Trust recorded in Instrument No. 202010307 of the Official Public Records of Burnet County, Texas, does hereby ratify all dedications and provisions of this plat as shown.

JEFF KUYKENDALL,
Chief Executive Officer
for Arrowshead Bank

STATE OF TEXAS §
COUNTY OF LLANO §

Before me, the undersigned authority, personally appeared JEFF KUYKENDALL, known to me to be the person and officer whose name is subscribed above, and that she/he is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of April, 2021.

Notary Public, State of Texas

CERTIFICATE OF PLAT APPROVAL

STATE OF TEXAS §
COUNTY OF BURNET §

The undersigned hereby certifies that the foregoing replat creating Granite Pointe Subdivision was submitted to the Planning and Zoning Commission on the ____ day of April, 2021, and the Commission, by formal action, then and there approved the plat and hereby authorizes the developer to proceed with the construction of public works improvements and infrastructure as indicated on the accompanying construction plans.

Approved for incorporation this ____ day of April, 2021.

Jeffery D. Looney, City Manager
City of Granite Shoals, Texas

ATTEST:
Elaine Simpson, City Secretary
City of Granite Shoals, Texas

CERTIFICATE OF SURVEYOR

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground. Field work completed on March 26, 2021.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR WENDED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Josh W. Leamons April 5, 2021
Registered Professional Land Surveyor, 6276

PRELIMINARY
**GRANITE POINTE
SUBDIVISION**
A REPLAT OF LOT 4, SERENITY POINTE, A
SUBDIVISION AS SHOWN ON THE PLAT
RECORDED IN INSTRUMENT NO.
200714918 OF THE OFFICIAL PUBLIC
RECORDS OF BURNET COUNTY, TEXAS.

EXHIBIT “D”

City of Granite Shoals

Zoning

- Current property is Zoned General Business District One GB-1
- Planned Development District will append Zoning Map to include Single Family Lakefront Estate Lots and Mixed Use. Mixed Use District will allow R-2 Residential Multi-family and General Business District One and Two development

Sec. 40-12 General Business District One, GB-1.

(a) Sale of alcoholic beverages. A local option election was held on May 21, 1977, permitting the sale of alcoholic beverages, including mixed beverages within the city limits. At the time of the approval of this chapter, this applies to all areas of General Business, GB-1, with the exception of that tract of land annexed by Ordinance No. 270, dated September 1992. This tract of land is zoned General Business One, GB-1, but a local option election has not been held for it. The following applies in a General Business District One, GB-1:

(1) A business that is permitted must have a retail on-premises consumption permit or license and less than 50 percent of the gross receipts for the premises is from the sale or service of alcoholic beverages (TABC regulatory and penal provisions, V.T.C.A., Alcoholic Beverage Code sec. 109.33(f)(1)). An example of this permitted use is a full service restaurant. Upon the restaurant's annual renewal of license, a prepared written audit that shows that the gross sale of alcoholic beverages is less than 50 percent of the establishment's gross receipts and the license application will be presented to the building official prior to TABC renewal.

(2) A business that is permitted must have a retail off-premises consumption permit or license and less than 50 percent of the gross receipts for the premises, excluding the sale of items subject to the motor fuels tax, is from the sale or service of alcoholic beverages (TABC regulatory and penal provisions, V.T.C.A., Alcoholic Beverage Code sec. 109.57(d)(2)). An example of this is a full service grocery store. Upon the store's annual renewal of license, a prepared written audit that shows that the gross sale of alcoholic beverages is less than 50 percent of the establishment's gross receipts less exclusions and the license application will be presented to the building official prior to TABC renewal.

(3) A business that is permitted must have a retail off-premises consumption permit or license, in accordance with TABC Regulatory and Penal Provisions. An example of this permitted use is an alcoholic beverage store.

(4) No establishment will be permitted that derives 75 percent or more of the establishment's gross revenue from the on-premises sale of alcoholic beverages (TABC regulatory and penal provisions, V.T.C.A., Alcoholic Beverage Code sec. 109.57(d)(2)). An example of this nonpermitted use is a public bar.

(b) Permitted uses. In a General Business District One, GB-1, no building or land shall be used and no building shall hereafter be erected or structurally altered, unless otherwise provided for in this chapter, except for one or more of the following uses:

- (1) Automobile parts and accessory sales.
- (2) Bakeries.
- (3) Banks.
- (4) Business or commercial schools.

- (5) Day nursery.
- (6) Drive-in restaurants, bowling alley and other similar places of entertainment.
- (7) Drug store.
- (8) Electronic service centers.
- (9) Florist shop.
- (10) Furniture store.
- (11) Grocery and convenience stores.
- (12) Greenhouses and retail nurseries.
- (13) Hardware stores.
- (14) Medical outpatient clinics.
- (15) Hotels, motels, bed and breakfasts.
- (16) Self-service laundries.
- (17) Nursing homes.
- (18) Office buildings.
- (19) Personal service and neighborhood shops.
- (20) Pharmacies.
- (21) Printing and copying services.
- (22) Public utilities.
- (23) Radio and television broadcasting studios.
- (24) Recreational vehicle sales.
- (25) Video rental sales.
- (26) Restaurants and other food service facilities that comply with this chapter.
- (27) Alcoholic beverage stores that comply with this chapter.
- (28) Resort marinas that comply with this chapter.

Any business not found mentioned in this subsection shall apply for review by the planning and zoning commission via the building official. Any business not listed above, but approved as a business by the city council will be added to the approved list. Accessory buildings shall be permitted only in the rear yard except when the lot on which the main building is located backs up to residential zones, but in no case may any accessory building occupy a public utility easement.

(b-1) Conditional uses. The following uses are permitted in the GB-1 district as conditional uses only if the property owner first obtains a conditional use permit as provided by this chapter:

- (1) New construction using new or used on-site storage containers as a building material.
- (c) Height. No building shall be less than ten feet or more than 25 feet in height.

(d) Yard requirements.

(1) A front yard of not less than ten feet in depth shall be provided. More space may be required under [section 40-16](#), parking.

(2) No rear yard shall be required, except when the property abuts, along its rear lot line, property zoned residential. Then a rear yard of not less than ten feet must be provided, and the subject property shall have a privacy fence installed and maintained by the commercial property owner along the rear property line where the abutment exists. In no case shall a building occupy any part of a public utility easement. Outside storage and trash receptacles shall be enclosed from view of the general public by a solid fence constructed of either masonry or wood. The fence shall be a minimum of six feet tall. Where a light industrial use abuts a residential district, a solid fence with a minimum height of eight feet shall be provided along the entire common boundary of the light industrial use and the residential district. No outside storage or trash receptacle shall be higher than the height of screening. All screening shall be maintained in a safe and slightly condition at all times. All commercial trash dumpsters shall be serviced from owner's property. All nonconforming commercial dumpsters must be in compliance within 90 days after the effective date of the ordinance from which this chapter is derived.

(e) Off-street parking. The number of spaces shall not be less than that specified in [section 40-16](#).

(f) Loading space requirements. Loading space shall conform to the provisions of [section 40-16](#).

(g) Portable and temporary buildings. Portable and temporary buildings shall be permitted, subject to compliance with all applicable ordinances related thereto; provided that a portable or temporary building of less than 500 square feet shall be allowed only when incidental to the construction of a permanent structure.

(h) Lighting. No use, operation, facility, premises or parking area shall be lighted in such a manner as to provide direct glare into an adjoining residential district. All lighting in the GB-1 district shall be hooded or shielded so that the light source is not directly visible from residential areas and public streets to avoid a hazard.

(i) Noise. Where a general business use abuts a residential district, noise shall not exceed the standards set forth in this subsection. Noise shall be measured at the common boundary of the general business district and the residential district. Measurement of sound shall be done with an A-weighted filter constructed in accordance with the specifications of the American National Standards Institute. The maximum permitted sound levels measured in decibels for the Industrial District abutting residential uses shall be 95 decibels.

(Ordinance 409, sec. XII, adopted 8/24/04; Ordinance 409-D, sec. 2.D, adopted 6/22/10; Ordinance 629, sec. II(B), adopted 1/14/14)

EXHIBIT “E”

Conceptual Single-Family Elevations











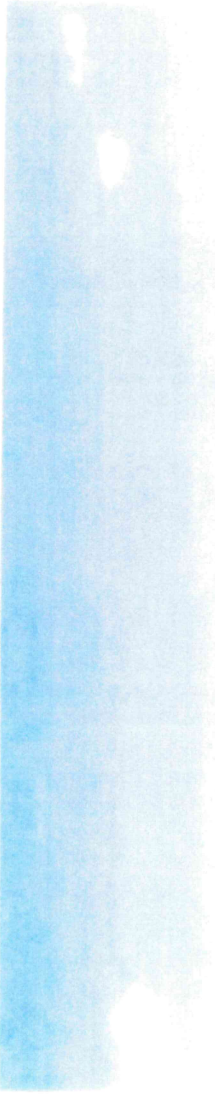


EXHIBIT “F”

Conceptual Inspired Designs for Phase II
Cinnamon Shore Masterplanned Development
by Kissling Architecture



EXHIBIT “G”

Site Development Impervious Cover
Permeable Interlocking Concrete Pavers



Lower Colorado River Authority

Post Office Box 220 Austin, Texas 78767 • (512) 473-3200 • Fax (512) 473-3379

November 1, 2012

Via email: david.hasness@pavestone.com

Dave Hasness, P.E.
Regional Sales Engineer
Pavestone, LLC

Subject: Permeable Interlocking Concrete Pavers (PICP)

Dear Dave:

This letter is to inform you that LCRA will allow up to a 90 percent reduction in the calculation of effective impervious cover for driveways, sidewalks and other pavements that use permeable interlocking concrete pavers as an "Innovative Best Management Practice (BMP)" per Section 5(f) of the Highland Lakes Watershed Ordinance. This policy is based on a review of infiltration data provided by your firm, literature research¹ and recent test cases that support the ability of PICP to achieve the performance standards of the ordinance.

Proposals for use of PICP in this manner shall be subject to a technical review of submittals, including a site plan, site-specific installation details, product specifications and field infiltration testing. Field testing shall demonstrate an initial infiltration of at least 55 inches per hour immediately following installation and annual infiltration testing demonstrating a minimum of 10 inches per hour infiltration rate for a period of at least three years following installation. The three products with which we are comfortable in terms of infiltration rate testing data are the Infiltrastone, EcoVenetian and Piora pavers with open aggregate (No. 8 is preferred or No. 9) used for the joint infill and choke layer and a minimum of an 8-inch depth of open-graded No. 57 (1/2 inch to 1 1/2 inches) or No. 4 (1 1/2 inches to 2 inches) aggregate base. Slopes over 2 percent will need to incorporate lateral flow barriers and/or cut-offs in the aggregate base layer. Reduction may be limited on slopes of more than 10 percent. If an underdrain is proposed, the design will need to ensure that runoff is infiltrated through the subsoil and not discharged or short-circuited. The owner will need to maintain the pavers to maintain a long-term infiltration rate of 10 inches per hour, which will become a requirement under the BMP Maintenance Permit.

We are planning to amend our technical manual to include the above criteria in 2013. We look forward to working with you and other stakeholders to formalize the use of this stormwater quality control BMP.

Please contact me at (512) 578-2091 if you have any questions or comments.

Sincerely,

Erik Harris, P.E.
Water Quality Protection

¹ Study On The Surface Infiltration Rate of Permeable Pavements, May 26, 2004, Prepared for: Interlocking Concrete Pavement Institute by Biological and Agricultural Engineering Department, North Carolina State University D. S. Weaver Labs



PERMEABLE PAVERS



EXHIBIT “H”

Planned Development Utility Agreements



March 11, 2021

VIA EMAIL

Mr. John Corcorran, Managing Member
Sterling Creek Holdings, LLC
409 East Main
Llano, Texas 78643

Re: Wastewater Service for Granite Pointe Waterfront Community Phase 1

Dear Mr. Corcorran:

I am in receipt of your letter on behalf of Sterling Creek Holdings, LLC ("Owner"), a Texas limited liability Company, dated February 22, 2021 and an email dated March 8, 2021 requesting domestic retail wastewater service for Phase 1 of a residential development of 11 lots at 604-605 Hill Crest Drive, Granite Shoals, Texas (the "Project"), locally known as Granite Pointe Waterfront Community. This letter shall serve as confirmation that the referenced Project is within the Aqua Texas, Inc. ("Aqua") certificated wastewater service area number 21116. Aqua is prepared to provide retail wastewater utility service to the Project as stipulated in the request for service, in accordance with the terms of a more comprehensive written Wastewater Line Extension Agreement ("Agreement") to be negotiated between Owner and Aqua, the provisions of Aqua's tariff in effect from time to time as approved by the Public Utility Commission of Texas ("PUC"), and all other provisions of law.

The issuance of this Letter agreeing to serve anticipates the future execution of the Agreement which shall stipulate the terms and conditions concerning the extension by Owner of a wastewater force main line from Aqua's B&W Gathering Wastewater Treatment Plant to the Project as well as the provision of wastewater service to the Project. Aqua may withdraw this offer at any time if the time period specified below for entering into a written agreement expires without a written agreement having been signed by both Owner and Aqua.

To reserve capacity in Aqua's B&W Gathering wastewater facilities, it will be necessary for Owner to pay Contribution in Aid of Construction ("CIAC") or impact fees in the amount of \$2,793.00 per Living Unit Equivalent ("LUE") for wastewater. The American Water Works Association has defined an LUE as the measure of daily water service demand through a 5/8"x3/4" meter. Your stipulation that each residence in the Project will receive water service through a 5/8"x3/4" meter for domestic purposes equates to 11 LUEs of wastewater treatment. Your service request represents a wastewater CIAC fee of \$30,723.00, **payable when the Agreement is signed.**

The steps for proceeding with the wastewater line extension construction are as follows:

1. Provision of the engineering plans for the main extension and collection lines within the Project to Aqua and approval of same by Operations and Engineering.
2. Preparation by Aqua of the Wastewater Line Extension Agreement.
3. The Extension Agreement requires Developer to provide to Aqua a Maintenance Bond or Letter of Credit in the estimated amount of the construction costs of the line extension, including engineering fees, to secure Developer's one-year warranty of the materials and workmanship of the extension project. The Bond or Letter of Credit is due at the time of signing the Agreement.
4. Developer shall provide a Certificate of Liability Insurance naming Aqua Texas, Inc. as an additional insured and Certificate Holder, the amounts of which coverage are stipulated in the Wastewater Line Extension Agreement Attachment Package.
5. When the Extension Agreement is signed, the CIAC fees are paid, the plans are approved by Aqua, the Certificates of Liability Insurance provided and the Maintenance Bond or Letter of Credit is received, a pre-construction meeting will be held between Aqua, Developer's engineer and the Contractor.
6. Construction on the project cannot begin until all the above steps are completed and Aqua releases the extension project for construction.
7. When the extension project is completed, the sanitary sewer line has been tested and Aqua has accepted the construction, the Developer will convey the facilities to Aqua by Bill of Sale, which document shall be prepared by Aqua's attorney. Prior to the conveyance, the Developer and Contractor will execute affidavits of all bills paid, job completion, assignment of the warranty and certification of actual costs of the project including engineering costs.
8. When all the above steps have been completed and Aqua has been conveyed the facilities, applications for wastewater service will be accepted.

Service will be provided in accordance with applicable Texas Commission on Environmental Quality ("TCEQ") regulations and there are no special service provisions unless included in the Agreement.

If you agree with this offer of service, please sign, date and return to me. The letter may be returned electronically. The terms of this offer shall remain in effect for a period of 180 days from the date hereof, during which time the Wastewater Line Extension Agreement will be prepared by Aqua and provided to you for review and signing. This letter is for the benefit of Owner and is not assignable without the express written consent of Aqua Texas, Inc., which shall not be unreasonably withheld or delayed. If you have any questions concerning this matter, please contact me at (512) 529-4280 or gelewis@aquaamerica.com.

Sincerely,



Glen E. Lewis

Accepted:
Sterling Creek Holdings, LLC
a Texas Limited Liability Company

By: 
John Corcorran, Managing Member

Date: 3-11-21